



R. JOE HARRIS & ASSOCIATES, INC. HAS PERFORMED A LIMITED BOUNDARY SURVEY AND INFORMATION SHOWN WITHOUT BENEFIT OF TITLE SEARCH AND SUBJECT TO A FINAL SURVEY FOR ACCURACY.

TOPOGRAPHIC INFORMATION SHOWN IS 2019 GIS TOPOGRAPHY FOR YORK COUNTY AND SHOWN AT ONE (1) FOOT CONTOUR INTERVALS. ACCURACY OF THIS INFORMATION HAS NOT BEEN VERIFIED.

PORTION OF THE PROPERTY IS NOT LOCATED WITHIN THE SPECIAL FLOOD HAZARD AREA (SFHA) ZONE AE AS DEPICTED ON FEMA/FIRM PANEL 450901044E, WITH EFFECTIVE DATE OF SEPTEMBER 26, 2008. ZONE "X" (500-YR | 0.2% CHANCE) IS DENOTED FOR LAKE.

**GENERAL INFORMATION:**

**PROJECT:** AUSTEN LAKES PHASE 5

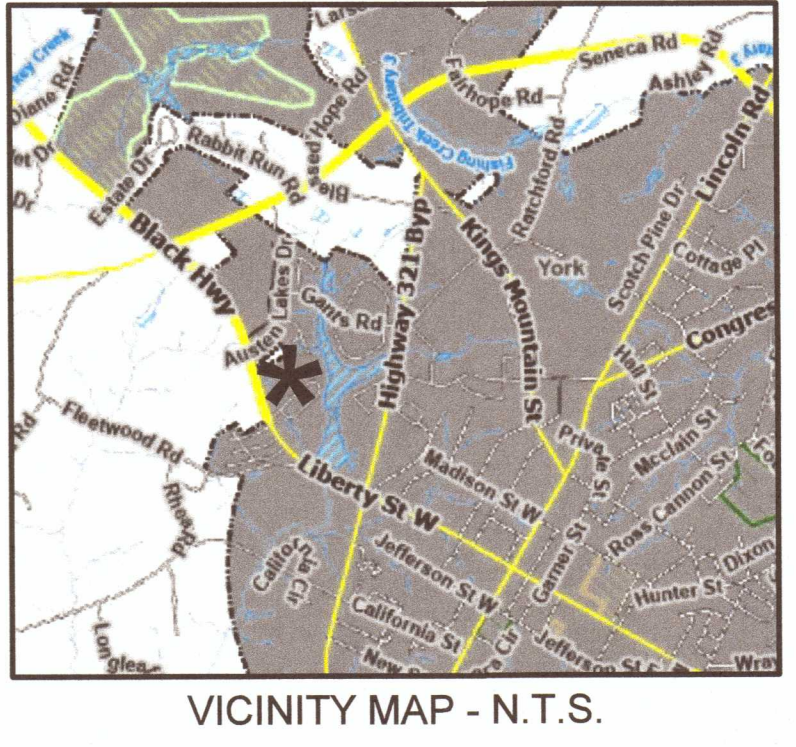
**DEVELOPER:** TRUE HOMES, LLC  
2849 Brekonridge Centre Drive  
Monroe, North Carolina 28110

**PROPERTY OWNER:** TRUE HOMES, LLC  
2849 Brekonridge Centre Drive  
Monroe, North Carolina 28110

**PARCELS:** 070-01-01-071

**ACREAGE:** 16.90 ACRES± (0.64 Acres in SCDOT R/W)(16.26 Net Acres)

**ZONING:** R-5 RESIDENTIAL (CITY OF YORK)



**DEVELOPMENT INFORMATION:**

**PROPOSED USE:** SINGLE FAMILY DETACHED RESIDENTIAL (Special Exception Plan)

**PROPOSED UNITS:** 62 LOTS (3.81 UNITS/ACRE)

**MIN. LOT WIDTH:** 43 FT. (Measured at Min. Front S.B.)

**NOM. LOT DEPTH:** 85 FT.

**MIN. LOT SIZE:** 4,085 SQ.FT.

**SETBACKS/YARDS:** Front - 20 Ft.  
Corner - 10 Ft.  
Side - 6 Ft.  
Rear - 15 Ft.

**OPEN SPACE:** Required - 4.07 Acres± (25%)  
Proposed - 7.20 Acres± (44.3%)

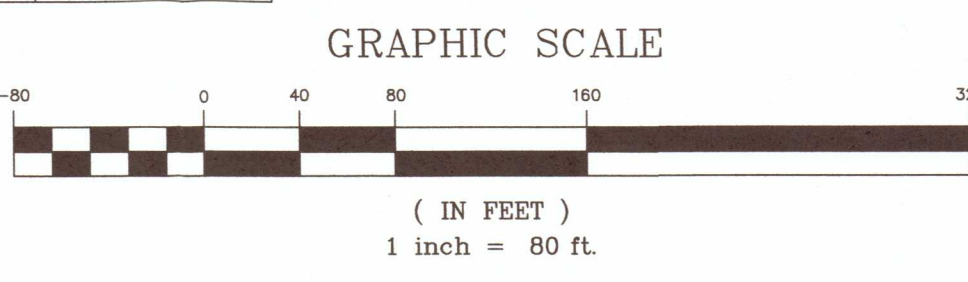
**BUFFERYARDS:** As Depicted on Plan

**STORMWATER:** Storm DrainSystem Designed for 10-Year Storm Detention for 2 & 10-Year Storm Events

**STREETS:** 24 Ft. Paved Roads w/2Ft Valley Curb (60' R/W)  
22 Ft. Paved Roads w/2Ft Valley Curb (50' R/W)  
Min. Centerline Radius of 150 Ft.  
5' Sidewalk on 1-Side of Each Street

- SPECIAL EXCEPTION/CONDITIONAL NOTES:**
- DESIGN AND CONSTRUCTION OF THE PROPOSED DEVELOPMENT SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF YORK, SCDOT, AND SCDHEC STANDARDS AND SPECIFICATIONS.
  - PROPOSED UTILITIES WILL BE SIZED ACCORDING TO SITE REQUIREMENTS DURING THE DESIGN PHASE (CONSTRUCTION DRAWINGS/ PRELIMINARY PLAT).
  - PROPOSED SEWER SHALL CONNECT TO EXISTING LIFT STATION BUILT AS PART OF AUSTEN LAKES, SUBJECT TO VERIFICATION OF CAPACITY WITHIN THE LIFT STATION. LIFT STATION WILL BE UPGRADED TO CITY OF YORK STANDARDS (IF UPGRADE IS NEEDED).
  - PROPOSED WATER SYSTEM SHALL CONNECT TO EXISTING WATERLINE ALONG HIGHWAY #5 AND EXISTING WATER STUB WITHIN AUSTEN LAKES PHASE 1.
  - ROAD IMPROVEMENTS, IF RECOMMENDED BY A TRAFFIC IMPACT STUDY, SHALL BE AS SPECIFIED BY SCDOT.
  - THE OPEN SPACE, BUFFER, STORMWATER CONTROLS, ETC. WILL BE MAINTAINED BY THE CONDITIONS, COVENANTS, AND RESTRICTIONS (CCRS) ESTABLISHED BY THE DEVELOPER AND ASSUMED BY THE HOMEOWNERS ASSOCIATION (HOA).
  - IMPROVED AMENITY AREAS SHALL BE SPECIFIED DURING THE DESIGN PHASE AND OWNED/MAINTAINED BY THE HOA. APPLICANT WILL PROVIDE PAVED TRAILS AND NATURAL SURFACE TRAILS (FINAL LOCATIONS TBD).
  - ROADWAY AND SIDEWALK LOCATIONS SHALL BE DESIGNED BASED ON CURRENT CITY OF YORK AND SCDOT STANDARDS AND SPECIFICATIONS.
  - DESIGN STANDARDS FOR HOMES WILL BE:
    - 1300 SQ.FT. HEATED FLOOR SPACE WITH 1-CAR ATTACHED GARAGE & 2-CAR PARKING PAD
    - 30% OF THE HOUSE FRONTS WILL BE COMPRISED OF MASONRY MATERIALS (BRICK, STONE, STUCCO)
    - VINYL SIDING SHALL BE UPGRADED TO STANDARD GRADE (0.044") IN LIEU OF BUILDER GRADE (0.038"-0.040")
  - ALL BODIES OF WATER WILL BE PROTECTED. A DOUBLE ROW OF SILT FENCE WILL BE REQUIRED WHEN DISTURBANCE IS PROPOSED WITHIN 50 FEET OF WATER BODIES.
  - 30' BUFFER SETBACK WILL BE REQUIRED FOR ANY PROPOSED LOTS ADJACENT TO THE LAKE.
  - BOAT DOCKS WILL NOT BE PERMITTED ON THE LAKE.
  - LANDSCAPING AND PARKING WILL BE DESIGNED TO MEET THE CITY OF YORK STANDARDS.
  - MAIN BODY ROOF PITCH SHALL BE 6/12 AND PORCHES, DORMERS AND ACCESSORY SHED ROOFS SHALL BE NO FLATTER THAN 4/12.
  - MAX. BUILDING HEIGHT SHALL BE 35 FEET AND IF BUILDINGS EXCEED 30 FEET IN HEIGHT, ROADS SHALL BE INCREASED TO 26 FT. CLEAR WIDTH PER INTERNATIONAL FIRE CODE REQUIREMENTS.
  - STANDARD ACCESSORY AND HOME OCCUPATION USES ALLOWED FOR RESIDENTIAL DWELLING UNITS IN ACCORDANCE WITH CCRs.
  - SIGNAGE SHALL BE REGULATED PER SECTION 12 OF THE CITY OF YORK ZONING ORDINANCE.
  - OPEN SPACES SHALL BE A MIXTURE OF PASSIVE (MINOR IMPROVEMENTS) AND NATURAL AREAS.
  - THIS SPECIAL EXCEPTION PLAN MUST BE APPROVED BY THE CITY OF YORK BOARD OF ZONING APPEALS (BZA) AND SETS FORTH THE REQUIRED ZONING OBLIGATIONS AND PARAMETERS FOR THE DEVELOPMENT. DETAILED PRELIMINARY PLAT (FULL CONSTRUCTION DRAWINGS) MUST THEN BE APPROVED BY THE CITY OF YORK PLANNING COMMISSION.
  - FINAL PLAT TO BE REVIEWED AND APPROVED BY THE CITY OF YORK PLANNING COMMISSION.
  - PHASING OF PROJECT WILL BE PERMITTED AND SHOWN ON THE PROPOSED PRELIMINARY PLAT/CONSTRUCTION DRAWINGS.
  - IF PHASED, DEAD END STREETS SHALL NOT EXCEED MORE THAN 150 FEET (NEAREST ROAD INTERSECTION TO END OF PAVEMENT) WITHOUT AN APPROVED TEMPORARY TURNAROUND UNLESS OTHERWISE APPROVED BY THE CITY OF YORK.
  - THE SUBDIVISION ENTRANCE FROM WEST LIBERTY STREET MUST BE PROVIDED WITH SIGNAGE, FENCING, LANDSCAPING, ETC. FEATURES TO MATCH THAT OF THE EXISTING ENTRANCES INTO THE OVERALL SUBDIVISION.

SEE SHEET SE-2 FOR CITY OF YORK STANDARDS & REQUIREMENTS NOTES.



DATE	ISSUED FOR	REV
5/01/20	Submittal to City	0
5/19/20	Address of Planning Comments	1
6/17/20	Planning Commission Comments 5-26-20	2

Engineer:

**R. Joe Harris & Associates, Inc.**  
Engineering • Land Surveying • Planning Management  
1608 W. Hwy 160, Suite 130, Fort Mill, S.C. 29706 P: (803) 802-1799 F: (803) 802-0886

www.rjoe Harris.com

This drawing shall not be used for construction purposes until the seal and signature of the responsible registrant appears on the drawing, and proper permit forms and related fees are transmitted by the Owner, Owner's Agent or Contractor to the Authority having jurisdiction.

Corporate Seal	Engineer's Seal

**CONCEPT APPROVAL NOT FOR CONSTRUCTION**

Project Manager	Drawn
B. Pridemore	-
Department Manager	Checked
-	-

Print/Plot Date  
**June 17, 2020**  
Client

**TRUE HOMES, LLC**  
2649 BREKONRIDGE CENTRE DRIVE  
MONROE, NORTH CAROLINA 28110  
P:

Project:  
**AUSTEN LAKES PHASE 5 RESIDENTIAL COMMUNITY**

Drawing Title:  
**CONCEPTUAL SITE PLAN  
Special Exception Plan**

Project No. 4009-Special Exception Plan DWG File Name: 4009-Austen Lakes Special Exc	Drawing No. <b>SE-1</b>
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CITY OF YORK STANDARDS & REQUIREMENTS:

- ✓1.

ALL PERTINENT REQUIREMENTS OF THE CITY OF YORK ZONING AND SUBDIVISION ORDINANCES (APPENDICES A & B OF THE YORK CITY CODE) MUST BE MET.
- ✓2.

THE STREETSCAPING OF INTERIOR STREETS SHALL BE PER STANDARD CITY OF YORK REQUIREMENTS:

– STREET TREES (3 DIFFERENT SPECIES IN A PATTERN)

– STREET LIGHTING

– SIDEWALKS

– ETC.
- ✓3.

SCREENING/LANDSCAPING TO BE PROVIDED WHERE LOTS BACK DIRECTLY ADJACENT TO ANOTHER LOT. AT A MINIMUM, DEVELOPER TO PROVIDE A MIX OF EVERGREEN TREES AND SMALL MATURING TREES SPACED 30’ ON-CENTER BETWEEN THE FOLLOWING LOTS:

– LOTS 48–50

– LOTS 53–58 & 65–66

EVERGREEN TREES SHALL BE MIN. OF 6’ IN HEIGHT AT TIME OF PLANTING AND SMALL CANOPY TREES SHALL BE MIN. 1.5” IN CALIPER TREES MAY BE PLANTED ALONG SHARED PROPERTY LINES OR STAGGERED ON EACH SIDE OF THE PROPERTY LINE.
- ✓4.

STREET TREES AND SIDEWALKS SHALL BE INSTALLED ALONG THE ENTIRETY OF FRONTAGE OF BLACK HIGHWAY IN ACCORDANCE WITH THE ADOPTED REQUIREMENTS FOR THE GATEWAY CORRIDOR OVERLAY DISTRICT. NOTE THAT DEVELOPMENT IS NOT LOCATED WITHIN THE GATEWAY CORRIDOR OVERLAY STANDARDS, BUT FRONTAGE ROAD STANDARDS TO BE APPLIED (DEVELOPMENT SIDE ONLY).
5.

STREET/SIDEWALK LIGHTING TO BE PROVIDED ALONG THE ENTIRE FRONTAGE OF LINCOLN ROAD (DEVELOPMENT SIDE ONLY).
6.

WHEN APPLICABLE, PROVIDE APPROPRIATE LANDSCAPE SCREENING FOR LOTS WITH DOUBLE STREET FRONTAGE.
7.

IDENTIFICATION MARKERS SHALL BE PROVIDED FOR ACCESS POINTS TO OPEN SPACE.
8.

ANY PROPOSED SUBDIVISION SIGNAGE, HOME OCCUPATION, OR ACCESSORY STRUCTURE SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD CITY OF YORK REQUIREMENTS. SIGNAGE EASEMENT(S) MUST BE NOTED ON THE PRELIMINARY AND FINAL PLAT SUBMITTALS.
9.

COMMUNITY MAILBOXES SHALL BE INSTALLED PER USPS REQUIREMENTS. AN APPROPRIATE NUMBER OF PARKING SPACES FOR THE COMMUNITY MAILBOXES AS WELL AS LANDSCAPING AND BUFFERING SHALL BE PROVIDED.
10.

OFF-STREET PARKING, WHEN REQUIRED, SHALL BE DESIGNED PER STANDARD CITY OF YORK REQUIREMENTS EXCEPT AS OTHERWISE APPROVED BY THE BOARD OF ZONING APPEALS (BZA).
11.

OVERALL LANDSCAPING/BUFFERS SHALL BE DESIGNED PER STANDARD CITY OF YORK REQUIREMENTS.
12.

DEDICATED STREET, UTILITY, AND OTHER RIGHTS-OF-WAY FOR STUB STREETS SHALL BE PROVIDED TO THE ADJACENT PROPERTY LINE. THE BUILD OF PHYSICAL IMPROVEMENTS IS NOT REQUIRED PER THIS PLAN.
13.

AT THE FINAL PLAT STAGE, THE METHOD(S) MUST BE IDENTIFIED FOR ENSURING THAT ALL REQUIRED IMPROVEMENTS ARE INSTALLED AND MAINTAINED. DEED RESTRICTIONS, ETC. MUST BE SUBMITTED FOR CITY REVIEW AT THE FINAL PLAT STAGE (AND ULTIMATELY RECORDED).
14.

VESTED RIGHTS TO THE PROJECT SHALL EXPIRE IF ANY OF THE FOLLOWING OCCURS:

– IF A PRELIMINARY PLAT IS NOT APPROVED WITHIN 2 YEARS OF SPECIAL EXCEPTION APPROVAL OR

– IF THE TIME PERIOD BETWEEN PRELIMINARY AND FINAL PLAT APPROVALS EXCEED 2 YEARS, OR

– IF ANY PORTION OF THE APPROVED CONCEPTUAL SITE PLAN IS NOT GIVEN FINAL PLAT APPROVAL WITHIN 5 YEARS OF SPECIAL EXCEPTION APPROVAL
15.

ALL SCDHEC REQUIREMENTS MUST BE MET REGARDING STORMWATER. THE STORMWATER AREAS SHALL BE FENCED, LANDSCAPED, MAINTAINED, ETC. PER CITY AND SCDHEC REQUIREMENTS.
16.

ALL SCDOT REQUIREMENTS FOR THE PROJECT MUST BE MET INCLUDING CROSSWALKS, SIGNAGE, ETC.
17.

ALL REQUIREMENTS OF THE CITY OF YORK FIRE AND PUBLIC WORKS DEPARTMENTS SHALL BE MET AT THE PRELIMINARY AND FINAL PLAT STAGES.
18.

A PHASING PLAN MUST BE PRESENTED AT THE PRELIMINARY PLAT STAGE.
19.

THE SUBDIVISION NAME AND STREET NAMES MUST BE APPROVED BY THE YORK COUNTY PREPAREDNESS 911 DIVISION AS PART OF THE PRELIMINARY PLAT.

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Department Manager	Checked
-	-
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Project:	
AUSTEN LAKES PHASE 5 RESIDENTIAL COMMUNITY	
Drawing Title:	
CONCEPTUAL SITE PLAN Special Exception Plan City of York Standards & Requirements Notes	
Project No.	Drawing No.
4009-Special Exception Plan	SE-2
DWG File Name:	
4009-Austen Lakes Special Exc	