

BOUNDARY SURVEY PERFORMED BY R. JOE HARRIS, INC. ON NOVEMBER 30, 2021  
 TOPOGRAPHIC INFORMATION SHOWN IS 2019 GIS TOPOGRAPHY FOR YORK COUNTY AND SHOWN AT ONE (1) FOOT CONTOUR INTERVALS. ACCURACY OF THIS INFORMATION HAS NOT BEEN VERIFIED.  
 PROPERTY IS NOT LOCATED WITHIN THE SPECIAL FLOOD HAZARD AREA (SFHA) ZONE AS DEPICTED ON FEMA FIRM PANEL 45091C0135E WITH EFFECTIVE DATE OF SEPTEMBER 26, 2008, AND 45091C0276E WITH EFFECTIVE DATE OF SEPTEMBER 26, 2008.

**GENERAL INFORMATION:**

PROJECT: CANNON VILLAGE  
 DEVELOPER: SOUTH FORK VENTURES LLC  
 PO BOX 178  
 WADMALAW, SOUTH CAROLINA 29487  
 OWNERS: JOANNA LAKES PARTNERS, LLC  
 PARCELS: 070-16-01-092 & 070-16-01-002  
 ACREAGE: 63.8 ACRES±  
 EXISTING ZONING: R-12  
 PROPOSED ZONING: R-5

**DEVELOPMENT INFORMATION:**

PROPOSED USE: SINGLE FAMILY RESIDENTIAL DEVELOPMENT

RESIDENTIAL UNITS: 100 - SINGLE FAMILY DETACHED (53' WIDE) [Yellow]  
 109 - SINGLE FAMILY ATTACHED (22' UNITS) [Red]  
 209 - TOTAL LOTS (3.28 UNITS/ACRE)

SINGLE FAMILY DETACHED:  
 - MIN. LOT WIDTH: 53 FT. (@ FRONT S.B.)  
 - MIN. LOT DEPTH: 120 FT.  
 - MIN. LOT SIZE: 6,360 SQ. FT.  
 - SETBACKS/YARDS: FRONT - 20 FT.  
 CORNER - 10 FT.  
 SIDE - 6 FT.  
 REAR - 15 FT.

SINGLE FAMILY ATTACHED:  
 - MIN. LOT WIDTH: 22 FT. (24 FT. ENDS) (@ FRONT S.B.)  
 - MIN. LOT DEPTH: 100 FT.  
 - MIN. LOT SIZE: 2,200 SQ. FT.  
 - SETBACKS/YARDS: FRONT - 20 FT. (15 FT. FOR REAR LOAD)  
 CORNER - 20 FT. (15 FT. @ ALLEYS)  
 SIDE - 15 FT. BUILDING SEPARATION  
 REAR - 15 FT. (20 FT. FOR REAR LOAD)

OPEN SPACE: PROPOSED - 29.45 ACRES± (46.2%)  
 (2.75 ACRES OF IMPROVED OPEN SPACE)  
 (2.06 ACRES OF DUKE POWER R/W)  
 (1.61 ACRES OF ABANDONED RAILROAD R/W)

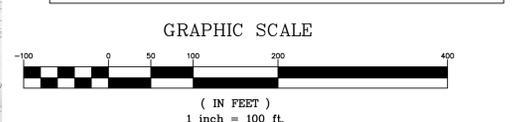
BUFFERYARDS: AS DEPICTED ON PLAN

STORMWATER: -STORM DRAIN SYSTEM DESIGNED FOR 10-YEAR STORM  
 -DETENTION FOR 2 & 10-YEAR STORM EVENTS

STREETS: -22 FT. PAVED ROADS W/2FT VALLEY CURB  
 -MIN. CENTERLINE RADIUS OF 150 FT.  
 -5' SIDEWALK ON BOTH SIDES OF EACH STREET  
 -SIDEWALK TO EXTEND AROUND CUL-DE-SAC BULB AND BE PLACED IN AN EASEMENT

| PHASE | 22' TH'S | 53' SFR'S | TOTAL |
|-------|----------|-----------|-------|
| 1     | 68       | 45        | 113   |
| 2     | 41       | 19        | 60    |
| 3     | 0        | 36        | 36    |

THIS SUBDIVISION PLAN MUST BE APPROVED BY THE BZA AND SETS FORTH THE REQUIRED ZONING OBLIGATIONS AND PARAMETERS FOR THE DEVELOPMENT. DETAILED PRELIMINARY PLAT (FULL CONSTRUCTION DRAWINGS) MUST THEN BE REVIEWED FOR APPROVAL BY THE PLANNING COMMISSION.



| DATE       | ISSUED FOR         | REV |
|------------|--------------------|-----|
| 12/22/2021 | Submission to City | 0   |
| 02/16/2022 | Submission to City | 1   |

Engineer:

R. Joe Harris & Associates, Inc.  
 Engineering • Land Surveying • Planning Management  
 1186 Stonerock Blvd., Tega Cay, S.C. 29708 P: (803) 802-1709

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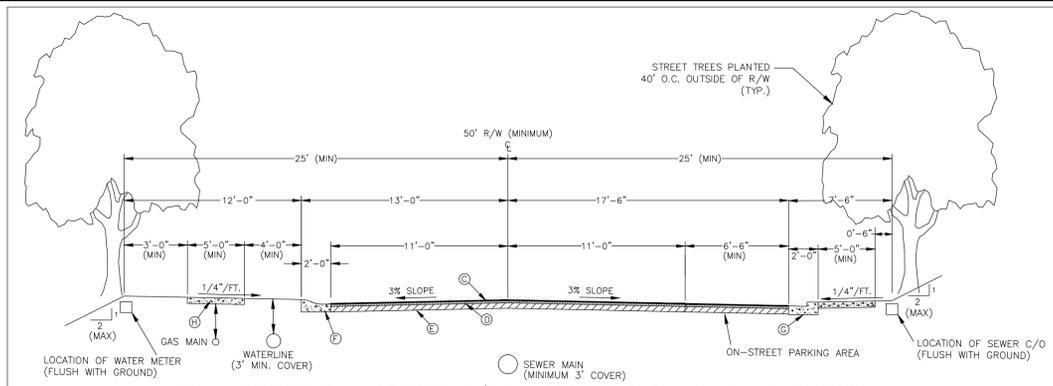
**FOR INFORMATION ONLY**

|                           |              |
|---------------------------|--------------|
| Project Manager           | Drawn        |
| B. Pridemore              | B. Norris    |
| Department Manager        | Checked      |
| P. Murphy                 | J. Murdock   |
| Print/Plot Date           |              |
| February 16, 2022         |              |
| Asbuilt Drawn             | Asbuilt Date |
| -                         | -            |
| Client                    |              |
| South Fork Ventures LLC   |              |
| PO BOX 178                |              |
| WADMALAW ISLAND, SC 29487 |              |
| P: (704) 254-3137         |              |

Project: Cannon Village

Drawing Title: Rezoning Plan & Special Exception

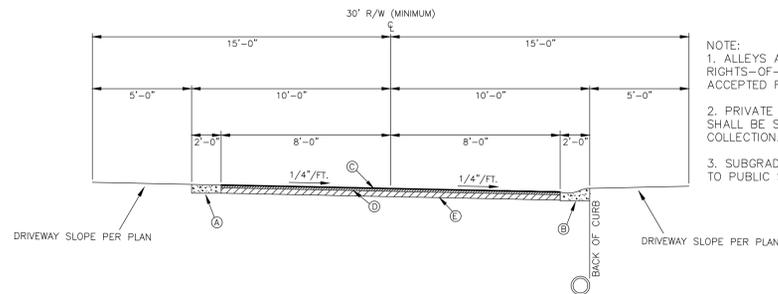
|                      |             |
|----------------------|-------------|
| Project No.          | Drawing No. |
| 4811                 |             |
| DWG File Name:       |             |
| 4811 - Rezoning Plan | RZ-1        |



**LOCAL RESIDENTIAL STREET W/ ON STREET PARKING ON ONE SIDE**

**PAVEMENT SCHEDULE**

- Ⓒ 1" HMA SURFACE COURSE - TYPE "C"
- Ⓓ 2" HMA BINDER COURSE - TYPE "C"
- Ⓔ 8" GRADED AGGREGATE BASE COURSE
- Ⓕ 2'-0" VALLEY GUTTER
- Ⓖ 2'-0" STANDARD GUTTER
- Ⓗ 5' CONCRETE SIDEWALK



- NOTE:**
- ALLEYS ARE CONSIDERED PRIVATE RIGHTS-OF-WAY AND WILL NOT BE ACCEPTED FOR MAINTENANCE.
  - PRIVATE ALLEY RIGHTS-OF-WAY SHALL BE SHARED WITH CITY REFUSE COLLECTION.
  - SUBGRADE SHALL BE COMPACTED TO PUBLIC STREET STANDARDS.

**ALLEY WITH NO CROWN**

**PAVEMENT SCHEDULE**

- Ⓐ 2'-0" RIBBON CURB TO BE AT 10" THICK & AT 1/16" TO 1/4" /FT SLOPE
- Ⓑ 2'-0" VALLEY GUTTER
- Ⓒ 1" HMA SURFACE COURSE - TYPE "C"
- Ⓓ 2" HMA BINDER COURSE - TYPE "C"
- Ⓔ 8" GRADED AGGREGATE BASE COURSE

**DETAIL 1.00**



**CITY OF YORK STANDARDS & REQUIREMENTS:**

- ALL PERTINENT REQUIREMENTS OF THE CITY OF YORK ZONING AND SUBDIVISION ORDINANCES (APPENDICES A & B OF THE YORK CITY CODE) MUST BE MET.
- THE STREETSCAPING OF INTERIOR STREETS SHALL BE PER STANDARD CITY OF YORK REQUIREMENTS: - STREET TREES (3 DIFFERENT SPECIES IN A PATTERN) - STREET LIGHTING - SIDEWALKS - ETC.
- SCREENING/LANDSCAPING TO BE PROVIDED WHERE LOTS BACK DIRECTLY ADJACENT TO ANOTHER LOT. AT A MINIMUM, DEVELOPER TO PROVIDE A MIX OF EVERGREEN TREES AND SMALL MATURING TREES SPACED 30' ON-CENTER BETWEEN THE FOLLOWING LOTS:
  - LOTS 29-35
  - LOTS 41-45
  - LOTS 48-52; 70
  - LOTS 78-82
 EVERGREEN TREES SHALL BE MIN. OF 6' IN HEIGHT AT TIME OF PLANTING AND SMALL CANOPY TREES SHALL BE MIN. 1.5" IN CALIPER TREES MAY BE PLANTED ALONG SHARED PROPERTY LINES OR STAGGERED ON EACH SIDE OF THE PROPERTY LINE. STREET TREES AND LIGHTING SHALL BE INSTALLED ALONG THE ENTIRETY OF THE DEVELOPMENT FRONTAGE OF FOURTH STREET PER GATEWAY CORRIDOR REQUIREMENTS.
- WHEN APPLICABLE, PROVIDE APPROPRIATE LANDSCAPE SCREENING FOR LOTS WITH DOUBLE STREET FRONTAGE.
- IDENTIFICATION MARKERS SHALL BE PROVIDED FOR ACCESS POINTS TO OPEN SPACE.
- ANY PROPOSED SUBDIVISION SIGNAGE, ACCESSORY STRUCTURE, OR HOME OCCUPATION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD CITY OF YORK REQUIREMENTS. SIGNAGE EASEMENT(S) MUST BE NOTED ON THE PRELIMINARY AND FINAL PLAT SUBMITTALS.
- COMMUNITY MAILBOXES SHALL BE INSTALLED PER USPS REQUIREMENTS. AN APPROPRIATE NUMBER OF PARKING SPACES FOR THE COMMUNITY MAILBOXES AS WELL AS LANDSCAPING AND BUFFERING SHALL BE PROVIDED.
- OFF-STREET PARKING, WHEN REQUIRED, SHALL BE DESIGNED PER STANDARD CITY OF YORK REQUIREMENTS EXCEPT AS OTHERWISE APPROVED BY PLANNING COMMISSION AND BOARD OF ZONING APPEALS.
- OVERALL LANDSCAPING/BUFFERS SHALL BE DESIGNED PER STANDARD CITY OF YORK REQUIREMENTS.
- DEDICATED STREET, UTILITY, AND OTHER RIGHTS-OF-WAY FOR STUB STREETS SHALL BE PROVIDED TO THE ADJACENT PROPERTY LINE. THE BUILD OF PHYSICAL IMPROVEMENTS IS NOT REQUIRED PER THIS PLAN.
- AT THE FINAL PLAT STAGE, THE METHOD(S) MUST BE IDENTIFIED FOR ENSURING THAT ALL REQUIRED IMPROVEMENTS ARE INSTALLED AND MAINTAINED. DEED RESTRICTIONS, ETC. MUST BE SUBMITTED FOR CITY REVIEW AT THE FINAL PLAT STAGE (AND ULTIMATELY RECORDED).
- VESTED RIGHTS TO THE PROJECT SHALL EXPIRE IF ANY OF THE FOLLOWING OCCURS: - IF A PRELIMINARY PLAT IS NOT APPROVED WITHIN 2 YEARS OF SPECIAL EXCEPTION CONCEPTUAL SITE PLAN APPROVAL, OR - IF THE TIME PERIOD BETWEEN PRELIMINARY AND FINAL PLAT APPROVALS EXCEED 2 YEARS, OR - IF ANY PORTION OF THE APPROVED CONCEPTUAL SITE PLAN IS NOT GIVEN FINAL PLAT APPROVAL WITHIN 5 YEARS OF SPECIAL EXCEPTION CONCEPTUAL SITE PLAN APPROVAL.
- ALL SCDHEC REQUIREMENTS MUST BE MET REGARDING STORMWATER. THE STORMWATER AREAS SHALL BE FENCED, LANDSCAPED, MAINTAINED, ETC. PER CITY AND SCDHEC REQUIREMENTS.
- ALL SCDOT REQUIREMENTS FOR THE PROJECT MUST BE MET INCLUDING CROSSWALKS, SIGNAGE, ETC.
- ALL REQUIREMENTS OF THE CITY OF YORK FIRE, PUBLIC WORKS, AND UTILITIES DEPARTMENTS SHALL BE MET AT THE PRELIMINARY AND FINAL PLAT STAGES.
- A PHASING PLAN MUST BE PRESENTED AT THE PRELIMINARY PLAT STAGE, WHEN APPLICABLE.
- THE SUBDIVISION NAME AND STREET NAMES MUST BE APPROVED BY THE YORK COUNTY PREPAREDNESS 911 DIVISION AS PART OF THE PRELIMINARY PLAT.

**CONDITIONAL NOTES:**

**ARCHITECTURALS:**

- EXTERIOR BUILDING MATERIALS MAY INCLUDE FIBER CEMENT, BRICK, STONE, STUCCO, WOOD OR COMBINATION THEREOF. A MINIMUM OF 30% OF THE FRONT FACADE SHALL BE COVERED WITH EITHER BRICK OR STONE. VINYL SHALL ONLY BE USED FOR DOORS & TRIM.
- A BRICK OR STONE WATER TABLE SHALL EXTEND A MINIMUM OF 18" ABOVE GRADE ON ALL SIDES.
- FRONT FACING GARAGE DOORS SHALL BE PROVIDED WITH WINDOWS, CARRIAGE STYLE HARDWARE, OR SEPARATED INTO 1-BAY GARAGE DOORS (NOT A SINGLE 2-CAR GARAGE DOOR).
  - ALL UNITS MAY HAVE 1-CAR GARAGE BUT MUST PROVIDE 2 SPACES IN DRIVEWAY
- NO SAME TWO MODELS OF HOME SHALL BE DIRECTLY ADJACENT TO EACH OTHER OR LOCATED DIRECTLY ACROSS THE STREET FROM EACH OTHER, UNLESS MODEL ELEVATIONS ARE SUBSTANTIALLY DIFFERENT FROM EACH OTHER VISUALLY.
- A VARIETY OF COLOR PATTERNS SHALL BE PROVIDED SUCH THAT NO TWO HOMES DIRECTLY ADJACENT TO EACH OTHER ARE OF THE SAME COLOR.
- MINIMUM HEATED SQUARE FOOTAGE FOR EACH HOME SHALL BE NO LESS THAN 1,800 SQ.FT FOR 1-STORY HOMES AND NO LESS THAN 2,000 SQ. FT FOR 2-STORY HOMES.
- MINIMUM HEATED SQUARE FOOTAGE FOR EACH TOWN HOME SHALL BE NO LESS THAN 1,800 SQ.FT.
- MIN. PERMITTED ROOF PITCH SHALL BE NO FLATTER THAN 5/12 PITCH (22.6 DEGREES).

**PERIMETER BUFFERS:**

- PERIMETER BUFFERS SHALL GENERALLY BE LEFT UNDISTURBED EXCEPT FOR ROADS, STORM, UTILITIES AND OTHER REQUIRED PUBLIC IMPROVEMENTS (TRAILS/SIDEWALKS).
- DEVELOPER MAY TEMPORARILY ENCR OACH INTO PERIMETER BUFFERYARDS DURING CONSTRUCTION UNDER THE FOLLOWING CONDITIONS:
  - NO LESS THAN 15- FEET REMAINS UNDISTURBED FOR ALL OTHER PERIMETER BUFFERS SHOWN
  - ALL DISTURBED AREAS ARE RE- ESTABLISHED WITH VEGETATIVE COVER

**STREETS:**

- ALL ROADS WILL BE PUBLICLY DEDICATED FOR MAINTENANCE AND ACCEPTANCE BY THE CITY OF YORK, SUBJECT TO THE CITY'S WARRANTY AND ACCEPTANCE POLICIES.
- THE MINIMUM REQUIREMENTS AS SPECIFIED WITHIN THIS CONDITIONAL PLAN FOR SPECIAL EXCEPTION DEVELOPMENT.
- STREET TREES SHALL BE PLANTED 40- FEET O.C. (AVERAGE) ALONG BOTH SIDES OF ALL INTERNAL STREETS AND LOCATED OUTSIDE OF, BUT WITHIN 10- FEET OF THE PUBLIC RIGHT- OF- WAY (PLANTED WITHIN LOTS OR COMMON).
- ALL LOTS SHALL CONTAIN AT LEAST ONE (1) STREET TREE.
- STREET TREES SHALL BE LARGE CANOPY VARIETIES AND BE MIN. 1-1/2 INCH CALIPER AT TIME OF PLANTING.

**COMMON AREAS:**

- ACTIVE OPEN SPACE AREAS SHALL BE IMPROVED AND MAY CONTAIN TRAILS, BENCHES, GARDENS, GAZEBOS, PAVILIONS, PICNIC AREAS AND/OR PLAYGROUNDS. THE CENTRAL AMENITY SHALL INCLUDE A CABANA, POOL, AND A MINIMUM OF 12 PARKING SPACES. PLEASE SEE AMENITY SCHEDULE BELOW FOR TIMING REQUIREMENTS.
- NATURAL SURFACE TRAILS SHALL BE MIN. 48- INCHES IN WIDTH.
- PAVED SURFACE TRAILS SHALL BE MIN. 60- INCHES IN WIDTH.
- PASSIVE COMMON AREAS SHALL BE LEFT UNDISTURBED TO MAXIMUM EXTENT PRACTICAL.
- ALL COMMON OPEN SPACES (PASSIVE AND ACTIVE) SHALL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
- COMMUNITY MAILBOXES FOR THE RESIDENTIAL DEVELOPMENT SHALL BE LOCATED ON THE CENTRAL AMENITY SITE OR THE WESTERNMOST CUL- DE- SAC. FINAL LOCATION AND PARKING WILL BE DETERMINED WITH AMENITY SITE DESIGN.

**BUILDING HEIGHTS:**

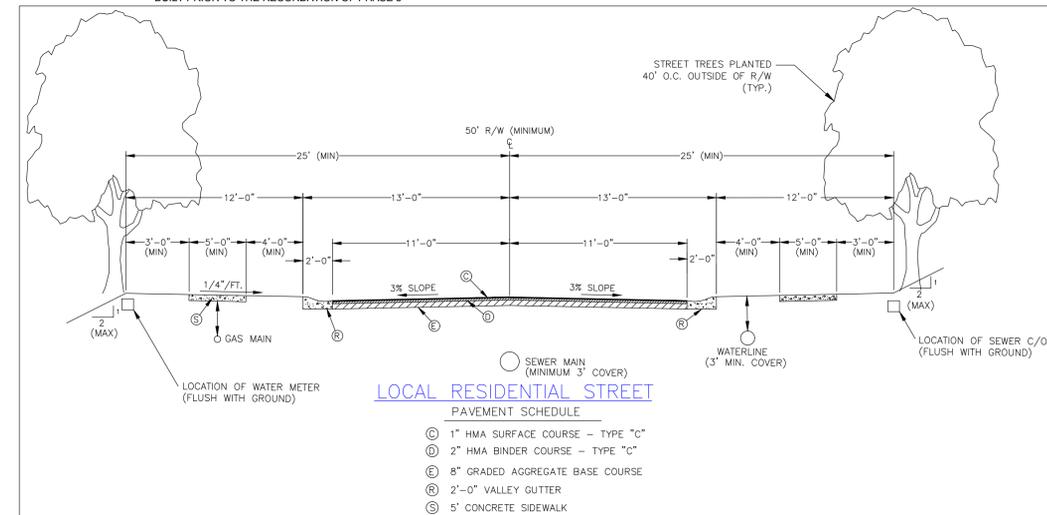
- MAX BUILDING HEIGHT FOR RESIDENTIAL SHALL BE 35 FEET AND IF BUILDINGS EXCEED 30 FEET IN HEIGHT, ROADS SHALL INCREASE TO 26 FEET CLEAR WIDTH PER INTERNATIONAL FIRE CODE.

**FENCING:**

- ALL FENCING SHALL COMPLY WITH CITY OF YORK ZONING ORDINANCE SECTION 13.1.9
- 42" BLACK CHAIN LINK FENCE OR APPROVED EQUAL TO BE PROVIDED AROUND ALL STORMWATER PONDS.

**AMENITY SCHEDULE:**

- PHASING AS SPECIFIED ON MASTER REZONING PLAN (ADJUSTMENTS SUBJECT TO PLANNING COMMISSION APPROVAL AT PRELIMINARY PLAT)
- THE CENTRAL AMENITY (CABANA/POOL) SHALL BE BUILT PRIOR TO RECORDATION OF PHASE 2 OR THE CENTRAL AMENITY (CABANA/POOL) MUST BE GUARANTEED WITH A LETTER OF CREDIT AT 150% OF THE ESTIMATED CONSTRUCTION VALUE AS CERTIFIED BY AN ENGINEER PRIOR TO THE RECORDATION OF PHASE 2 AND BUILT PRIOR TO THE RECORDATION OF PHASE 3



**LOCAL RESIDENTIAL STREET**

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| 12/22/2021 | Submittal to City | 0   |
| 02/16/2022 | Submittal to City | 1   |

Engineer:

**R. Joe Harris & Associates, Inc.**  
 Engineering • Land Surveying • Planning Management  
 1186 Stonerest Blvd., Tega Cay, S.C. 29708 P: (803) 802-1799

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**FOR INFORMATION ONLY**

|   |              |
|---|--------------|
| Project Manager   | Drawn        |
| B. Pridemore  | B. Norris    |
| Department Manager  | Checked      |
| P. Murphy   | J. Murdock   |
| Print/Plot Date   |              |
| February 16, 2022   |              |
| Asbuilt Drawn   | Asbuilt Date |
| -   | -            |
| Client  |              |
| South Fork Ventures LLC<br>PO BOX 178<br>WADMALAW ISLAND, SC 29487<br>P: (704) 254-3137 |              |

Project: **Cannon Village**

Drawing Title: **Rezoning Plan & Special Exception**

|                      |             |
|----------------------|-------------|
| Project No.          | Drawing No. |
| 4811                 | 4811        |
| DWG File Name:       |             |
| 4811 - Rezoning Plan | <b>RZ-2</b> |

SINGLE FAMILY DETACHED HOMES



SAMPLE ELVATIONS:

ALL ELEVATIONS DEPICTED ARE FOR ILLUSTRATIVE AND REPRESENTATIVE PURPOSES ONLY AND SUBJECT TO CHANGE AT TIME OF BUILD, SO LONG AS HOMES ARE CONSISTENT WITH IMPLIED REQUIREMENTS AND REPRESENTATIONS.

ACTUAL PRODUCTS MAY VARY.



22' REAR ENTRY TOWNHOMES - VARIOUS STYLES



22' REAR ENTRY TOWNHOMES - BRICK THEME



22' REAR ENTRY TOWNHOMES - STONE THEME



22' REAR FRONT ENTRY TOWNHOMES - BRICK THEME



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FOR  
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|                                 |                       |
|---------------------------------|-----------------------|
| Project Manager<br>B. Pridemore | Drawn<br>B. Norris    |
| Department Manager<br>P. Murphy | Checked<br>J. Murdock |

Print/Plot Date  
February 16, 2022

|                    |                   |
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Project:  
Cannon Village

Drawing Title:  
Rezoning Plan & Special  
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|  |                     |
|--|---------------------|
| Project No.<br>4811                    | Drawing No.<br>RZ-3 |
| DWG File Name:<br>4811 - Rezoning Plan |                     |